

PRELIMINARY & FINAL SITE PLAN

FOR SMILES REAL ESTATE, LLC.

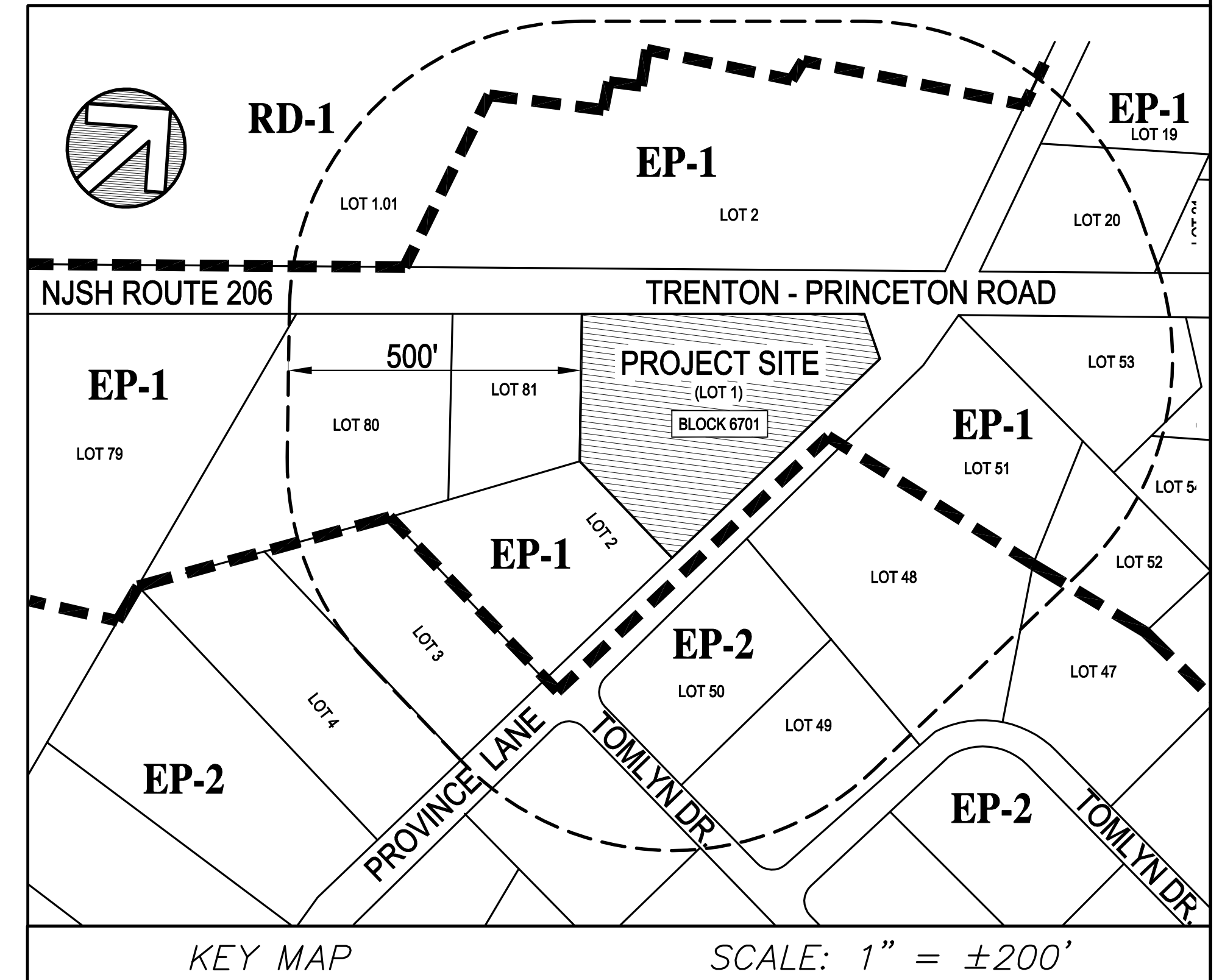
LOT 1, BLOCK 6701
 3640 TRENTON - PRINCETON ROAD
 LAWRENCE TOWNSHIP
 MERCER COUNTY, NEW JERSEY

ZONING LEGEND

- RD-1** RESEARCH & DEVELOPMENT-1
- EP-1** ENVIRONMENTAL PROTECTION 1
- EP-2** ENVIRONMENTAL PROTECTION 2

NOTES

- PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY STATE, COUNTY AND TOWNSHIP PERMITS.
- ALL THE PROPOSED IMPROVEMENTS SHALL CONFORM TO LAWRENCE TOWNSHIP AND MERCER COUNTY DESIGN STANDARDS DETAILS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL CONTACT THE UTILITIES COORDINATION COMMITTEE AT 1-800-272-1000 FOR A UTILITY MARK UP IN THE AREA OF THE CONSTRUCTION AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
- THESE PLANS DO NOT SHOW ALL OF THE EXISTING UNDERGROUND UTILITIES LOCATED WITHIN THE SITE. EXISTING UTILITIES INFORMATION, AS SHOWN ON THESE PLANS, HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT CERTIFIED FOR ACCURACY OR COMPLETENESS. IT IS THEREFORE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL THE EXISTING UTILITIES IN THE AREA OF CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK.
- MAINTENANCE/ESCROW AGREEMENT TO BE PROVIDED AS CONDITIONAL APPROVAL.
- A MINIMUM VERTICAL DISTANCE OF 18 INCHES SHALL BE MAINTAINED BETWEEN THE WATER LINE AND THE SANITARY SEWER LINE, WITH WATER LINE HIGHER THAN THE SEWER LINE.
- THE OUTBOUND SURVEY AND TOPOGRAPHIC INFORMATION AS SHOWN ON THESE PLANS HAVE BEEN PROVIDED BY JAMES P. DEADY SURVEYOR, LLC., 295 ROUTE 22 EAST, ONE SALEM SQ. STE 202 WEST WHITEHOUSE, NJ 08889) DATED, 03-08-21)
- THE SURVEY INFORMATION AS SHOWN ON THESE PLANS IS SUBJECT TO SUCH FACTS AS AN ACCURATE TITLE SEARCH MAY DISCLOSE.
- NO SOIL WILL BE REMOVED FROM THIS SITE IN CONNECTION WITH THE CONSTRUCTION OF THIS PROJECT.
- ALL CONCRETE ARE $f'c=4,500$ PSI.
- WHERE EXISTING UTILITIES ARE TO BE CROSSED BY THE PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITY TO ASCERTAIN EXISTING INVERTS, MATERIALS AND SIZES. THE TEST PIT INFORMATION SHALL BE PROVIDED TO THE ENGINEER PRIOR TO THE CONSTRUCTION IN ORDER TO PERMIT ADJUSTMENTS, IF REQUIRED.
- ALL EXISTING CURBS, SIDEWALKS AND DRIVEWAYS THAT ARE DISTURBED DUE TO THE PROPOSED IMPROVEMENTS SHALL BE RESTORED IN ACCORDANCE WITH THE CURRENT TOWNSHIP AND NDOT STANDARDS.
- ALL EXISTING POWER POLES WITHIN 10 FEET OF THE PROPOSED IMPROVEMENTS SHALL EITHER BE RELOCATED OR SUPPORTED PER THE RECOMMENDATIONS OF THE UTILITY COMPANY.
- A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN THE SANITARY SEWER LINE AND THE WATER LINE.
- NO LOADING OR UNLOADING OF MATERIALS WILL BE PERFORMED IN THE PROPOSED PARKING AREAS.
- ELECTRIC, TELEPHONE, CATV AND ALL OTHER WIRE SERVED UTILITY EXTENSIONS AND SERVICES SHALL BE INSTALLED UNDERGROUND WITH STANDARDS ESTABLISHED BY THE SERVING UTILITY COMPANY AND APPROVED BY THE TOWNSHIP ENGINEER.
- ALL GRADING TO BE A MINIMUM OF 2% & A MAXIMUM OF 3' HORIZONTAL TO 1' VERTICAL ACROSS ALL LAWN AREAS.
- THIS SITE DESIGN COMPLIES WITH CURRENT ADA REQUIREMENTS.
- ALL AREAS WHERE NATURAL VEGETATION AND/OR SPECIMEN TREES ARE TO REMAIN SHALL BE PROTECTED BY THE ERECTION OF FENCING & NO DISTURBANCE SHALL OCCUR PRIOR TO INSPECTION BY THE TOWNSHIP ENGINEER. THESE PROTECTIVE MEASURES SHALL NOT BE ALTERED OR REMOVED WITHOUT THE APPROVAL OF THE TOWNSHIP ENGINEER.



KEY MAP

SCALE: 1" = ±200'

LIST OF REQUIRED REGULATORY APPROVAL/PERMIT OR EXEMPTION

- LAWRENCE TWP. PLANNING BOARD.
- MERCER COUNTY PLANNING BOARD.
- LAWRENCE TWP. SOIL EROSION & SEDIMENT CONTROL.
- LAWRENCE TWP. BUILDING DEPARTMENT.
- DELAWARE & RARITAN CANAL COMMISSION.

LIST OF DRAWINGS

- Y-1 TITLE SHEET
- Y-2 EXISTING CONDITION PLAN
- Y-3 DIMENSION PLAN
- Y-4 GRADING PLAN
- Y-5 LANDSCAPING PLAN

GENERAL NOTES

- PROPERTY IS KNOWN AND DESIGNATED AS LOT 1 IN BLOCK 6701. AS SHOWN ON THE LATEST LAWRENCE TOWNSHIP TAX MAP.
- PROPERTY CONSISTS OF 142,049 S.F. OR 3.261 ACRES.
- PROPERTY IS LOCATED IN THE "EP-1" ZONE. (PROFESSIONAL OFFICE)
- EXISTING EXISTING DRIVEWAY CUTS TO REMAIN. NO NEW DRIVEWAY CUTS ARE PROPOSED AS PART OF THIS SITE DEVELOPMENT.
- THE OUTBOUND TOPOGRAPHIC SURVEY AND ON SITE EXISTING INFORMATION WERE OBTAINED FROM DRAWING TITLED, BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY JAMES P. DEADY SURVEYOR, LLC., INC. DATED 03-08-2021.
- OWNER: SMILES REAL ESTATE, LLC. 3640 TRENTON - PRINCETON ROAD LAWRENCE, NJ 08648
- ZONING REQUIREMENTS (EP-1 ZONE) ENVIRONMENTAL PROTECTION 1 (LOT 30.01)

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	130,680 S.F.	142,049 S.F.	142,049 S.F.
MIN. LOT FRONTAGE	3 ACRES	±3,261 ACRES	±3,261 ACRES
TRENTON-PRINCETON ROAD	200'	493.53'	493.53'
PROVINCE LANE	200'	500.70'	500.70'
MIN. FRONT YARD SETBACK	100'	133.19'	133.19'
TRENTON-PRINCETON ROAD	100'	125.15'	125.15'
PROVINCE LANE	100'	125.15'	125.15'
MIN. SIDE YARD SETBACK	50'	152.45'	152.45'
TRENTON-PRINCETON ROAD	50'	N/A *	167.14'
PROVINCE LANE	50'	N/A *	167.14'
MIN. REAR YARD SETBACK	50'	N/A *	152.45'
MIN. SIDE YARD SETBACK	50'	167.14'	167.14'
TRENTON-PRINCETON ROAD	50'	167.14'	167.14'
MAX. IMPERVIOUS COVERAGE	12%	16,030 S.F. (±11,288)	16,422 S.F. (±11,566)
MAX. BLDG HEIGHT:	35'	±30.0'	±30.0'

* CORNER LOT

OFF-STREET PARKING REQUIREMENTS

5 STALLS PER 1,000 S.F. OF FLOOR AREA (MEDICAL OFFICE AREA)
 5 x (±3,000 S.F.) / 1,000 = 15 SPACES

TOTAL PARKING REQUIRED = 15 SPACES
 TOTAL PARKING PROVIDED = 17 SPACES

I/WE DO HEREBY CERTIFY THAT ALL STATEMENTS MADE HEREIN AND IN ANY DOCUMENTS SUBMITTED HERewith ARE TRUE AND ACCURATE.

OWNER SIGNATURE _____ DATE _____

(PRINT OR TYPE NAME)

I HEREBY CERTIFY THAT THE DRAWINGS ARE IN COMPLIANCE WITH THE MUNICIPAL ORDINANCE AND REQUIREMENTS.

CHAIRMAN OF THE ZONING BOARD _____ DATE _____

SECRETARY OF THE ZONING BOARD _____ DATE _____

ADMINISTRATIVE OFFICER OF THE ZONING BOARD _____ DATE _____

MUNICIPAL ENGINEER _____ DATE _____

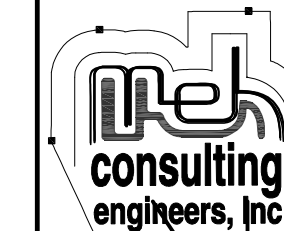
PROPERTY OWNERS WITHIN 200 FEET (TOWNSHIP OF LAWRENCE)

BLOCKS	LOTS	NAME/ADDRESS	BLOCKS	LOTS	NAME/ADDRESS
6601	2	L'VILLE REALTY CO-CARE ONE,RE TAX DEP. 173 BRIDGE PLAZA NORTH FORT LEE, NJ 07024	7001	50	SCATURIO, MICHAEL & KATHERN 1 TOMLYN DR. PRINCETON, NJ 08540
6701	2	GILL, GEORGE M ETUX 4440 PROVINCE LINE RD PRINCETON, NJ 08540	7001	51	IBARRA GARLAND MARIO GABRIEL H/W 4453 PROVINCE LINE ORAD PRINCETON, NJ 08540
6701	81	HAMRICK, MARK C & ERIN MC DONALD 3620 LAWRENCEVILLE RD PRINCETON, NJ 08540	7001	53	191 HACKENSACK REALTY LLC 19 LAKE VIEW BLVD EDISON, NJ 08817
7001	48	KUMAR, NITESH & RICHA N SRIVASTAVA 22 TOMLYN DR. PRINCETON, NJ 08540	7601	20	MEJIA, GERADO ELIAS 4465 PROVINCE LINE RD PRINCETON, NJ 08540

3	REVISED AS PER TOWNSHIP COMMENT LETTERS.	07-19-2021
2	REVISED AS PER TOWNSHIP COMPLETENESS LETTER DATED 04-30-2021.	05-04-2021
1	FOR FILING.	03-29-2021
No.	REVISION	DATE

CLIENT:

SMILES REAL ESTATE, LLC.
 3640 TRENTON - PRINCETON ROAD
 TOWNSHIP OF LAWRENCE
 MERCER COUNTY, NEW JERSEY



MEH CONSULTING ENGINEERS, INC.

CIVIL ENGINEERS - STRUCTURAL ENGINEERS
 ENVIRONMENTAL AND HYDRAULIC ENGINEERS
 825 BLOOMFIELD AVENUE SUITE 106
 VERONA, NEW JERSEY 07094
 PHONE: (973) 239-2626 FAX: (973) 239-6356

MOHAMMED EL-HAWWAT, P.E.
 NEW JERSEY PROFESSIONAL ENGINEER LICENSE NO. 38475

DATE: 07-19-2021

TITLE SHEET

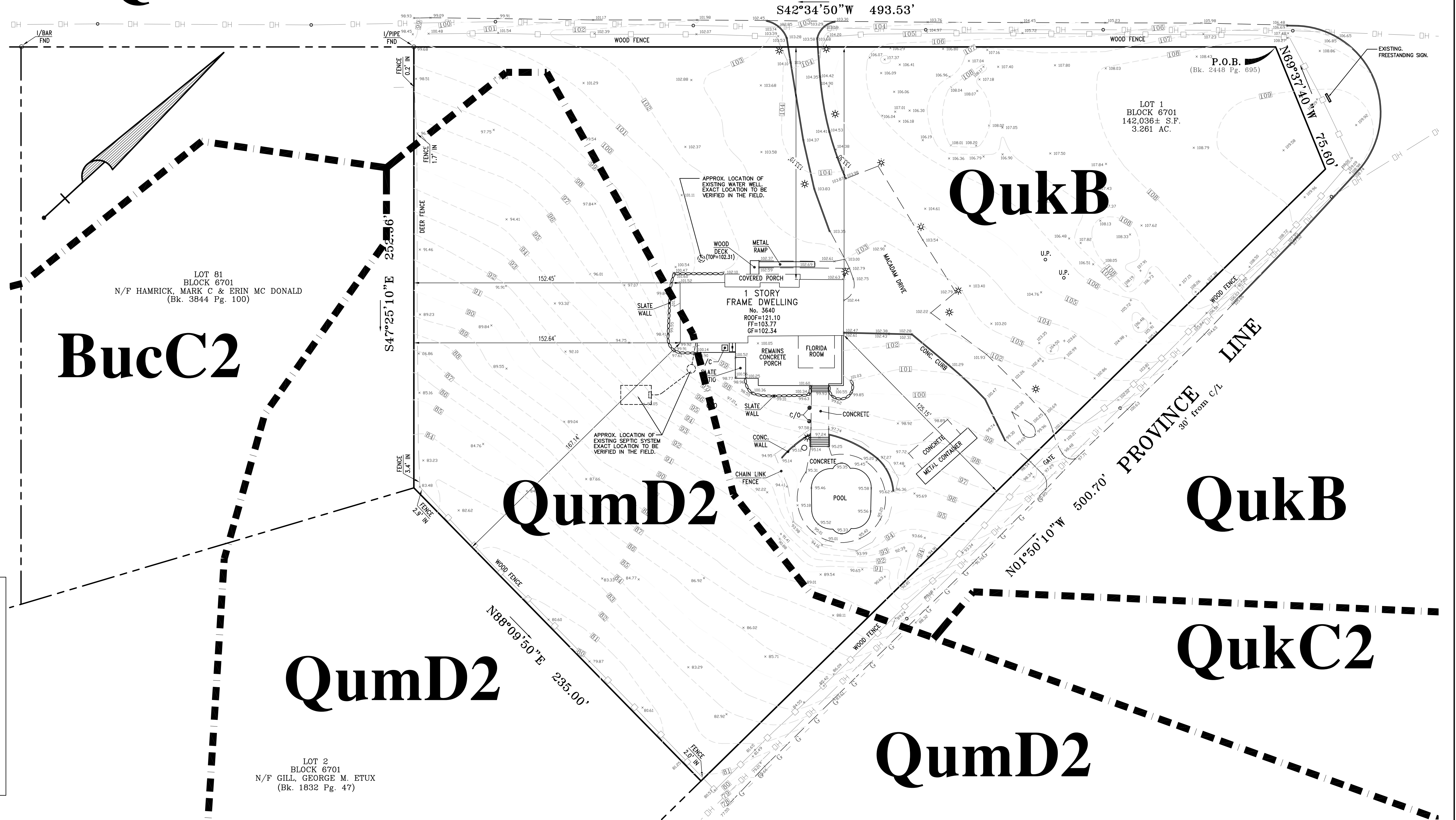
PROPOSED SITE IMPROVEMENT
 FOR
 SMILES REAL ESTATE, LLC.

LOT 1, BLOCK 6701
 TOWNSHIP OF LAWRENCE
 MERCER COUNTY, NEW JERSEY

DATE: 03-29-2021 SCALE: AS SHOWN DRAWN BY: BHS SHEET#
 W.O.: 21-011 CAD FILE: Y-1 CHECKED BY: MEH Y-1

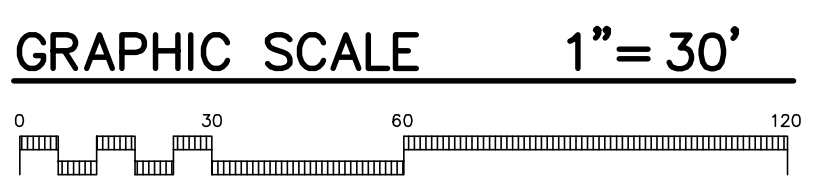
QukB

TRENTON - PRINCETON ROAD (ALSO KNOWN AS LAWRENCEVILLE - PRINCETON ROAD) VARIABLE WIDTHS



- NOTES:**
1. THIS SURVEY IS PREPARED SPECIFICALLY FOR THE INDIVIDUAL(S) IN THE TITLE AND/OR CERTIFICATION. THE UNDERSIGNED WILL NOT BE RESPONSIBLE FOR ANY ASSIGNMENT OF THIS SURVEY TO ANY PERSON NOT SO NAMED.
 2. SUBJECT TO SUCH STATE OF FACT THAT AN ACCURATE TITLE SEARCH MAY DISCLOSE.
 3. SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD.
 4. UNDERGROUND UTILITIES ARE NOT DEPICTED. THE LACK OF UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OF SAME. REFERENCE TO THE APPROPRIATE UTILITY AUTHORITY SHOULD BE MADE TO VERIFY THE PRESENCE OR EXISTENCE OF SAME.
 5. DEED REFERENCE: BOOK 2448 PAGE 695, FILED IN THE MERCER COUNTY CLERK'S OFFICE.
 6. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, C. 14 (N.J.A.C. 45:8-36.3) AND (N.J.A.C. 13:40-5.1(D)).
 7. VERTICAL DATUM ASSUMED AT 100.00', BENCHMARK SHOWN ON PLAN.

SOIL LEGEND		HYD. GROUP	CN VALUE
QukB	QUACKERTOWN SILT LOAM 2-6% SLOPE	C	74
QumD2	QUACKERTOWN CHANNERY SILT LOAM 6-12% SLOPE	C	74
QukC2	QUACKERTOWN SILT LOAM 6-12% SLOPE	C	74
BucC2	BUCKS SILT LOAM 6-12% SLOPE	B	61



3	REVISED AS PER TOWNSHIP COMMENT LETTERS.	07-19-2021
2	REVISED AS PER TOWNSHIP COMPLETENESS LETTER DATED 04-30-2021.	05-04-2021
1	FOR FILING.	03-29-2021
No.	REVISION	DATE

CLIENT:

SMILES REAL ESTATE, LLC.
3640 TRENTON - PRINCETON ROAD
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

MEH CONSULTING ENGINEERS, INC.
www.mehengineers.com
CIVIL ENGINEERS - STRUCTURAL ENGINEERS
ENVIRONMENTAL AND HYDRAULIC ENGINEERS
825 BLOOMFIELD AVENUE SUITE 106
VERONA, NEW JERSEY 07044
PHONE: (973) 239-2626 FAX: (973) 239-6356

MOHAMMED EL-HAWWAT, P.E.
NEW JERSEY PROFESSIONAL ENGINEER LICENSE NO. 38475

EXISTING CONDITION PLAN

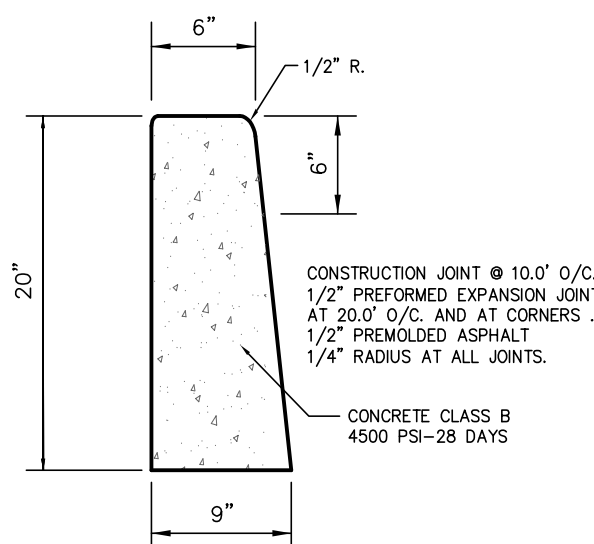
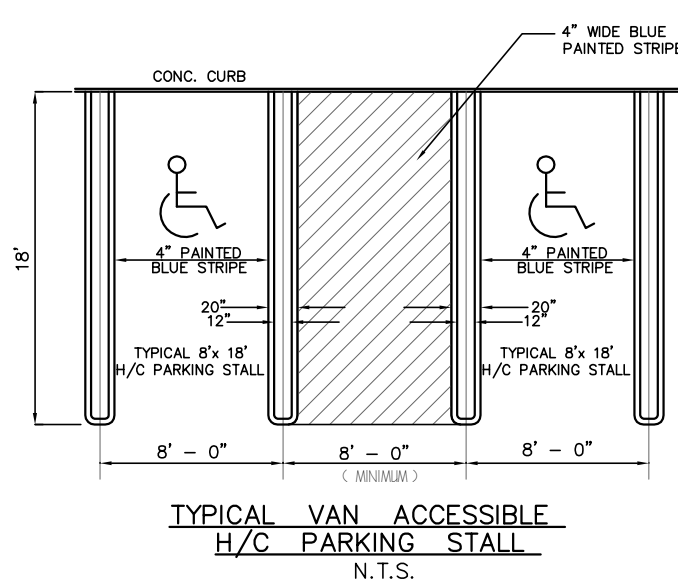
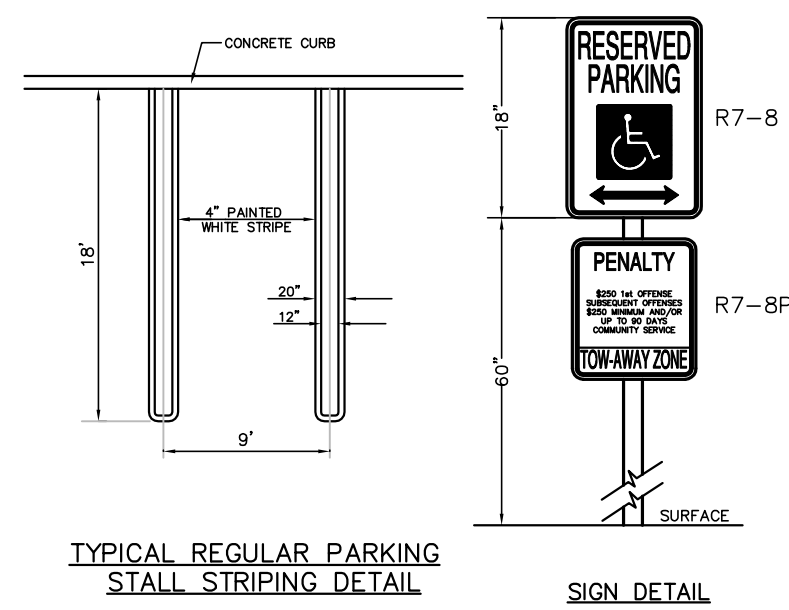
PROPOSED SITE IMPROVEMENT
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LOT 1, BLOCK 6701
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

DATE: 07-19-2021
SCALE: 1"=30'
DRAWN BY: BHS
CHECKED BY: MEH
W.D.: 21-011
CAD FILE: Y-3N4
SHEET#
Y-2

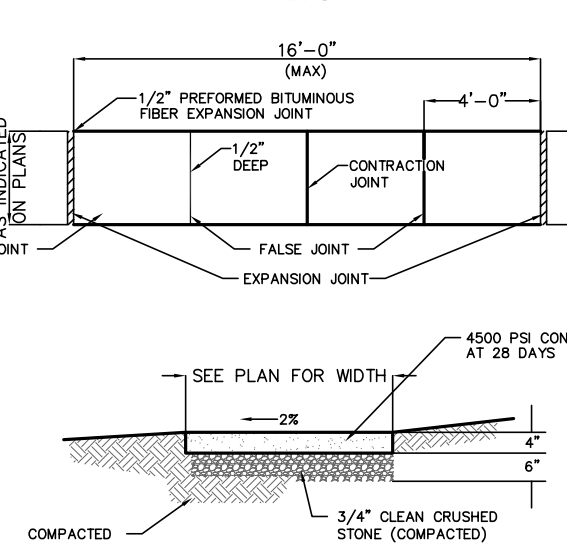
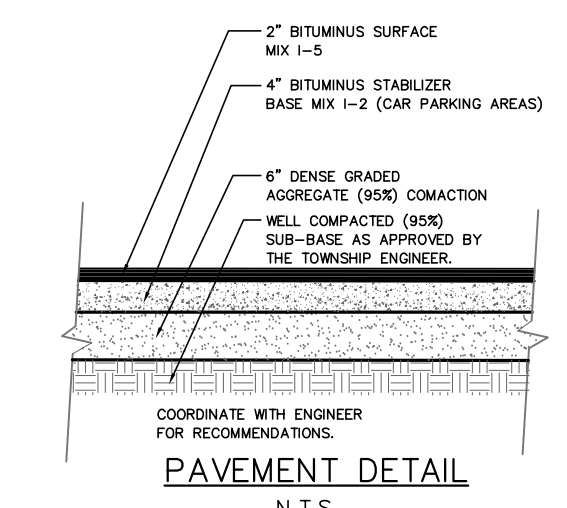
GENERAL NOTES
 ALL SIGNS AND PAVEMENT MARKING SHALL CONFORM TO MUTCD.

CONSTRUCTION CASTINGS:
 NOTE THAT ALL CASTING SHALL BE OF U.S. MANUFACTURE AND N.JDOT APPROVED. IF OTHER THAN CAMPBELL, NEENAH, BRIDGESTATE, EMPORIA OR QUIRIN CASTING ARE PLANNED TO BE USED, COMPLETE DATA MUST BE SUBMITTED INCLUDING BUT NOT NECESSARILY LIMITED TO AN AFFIDAVIT CERTIFYING THAT THE CASTINGS WERE MADE IN THE U.S.; LOAD CAPACITY BASED ON THE STANDARD HIGHWAY LOADING; WEIGHTS AND CONFIGURATIONS OF THE CASTINGS AND METALLURGICAL ANALYSIS. ALL GRATES ARE TO BE "BICYCLE SAFE".

- ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING, AS APPLICABLE:
- A- NEW JERSEY DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION".
 - B- CURRENT PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
 - C- CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
 - D- STATE OF NEW JERSEY B.O.C.A. CODE AND BARRIER-FREE DESIGN REGULATIONS AS CURRENTLY AMENDED.

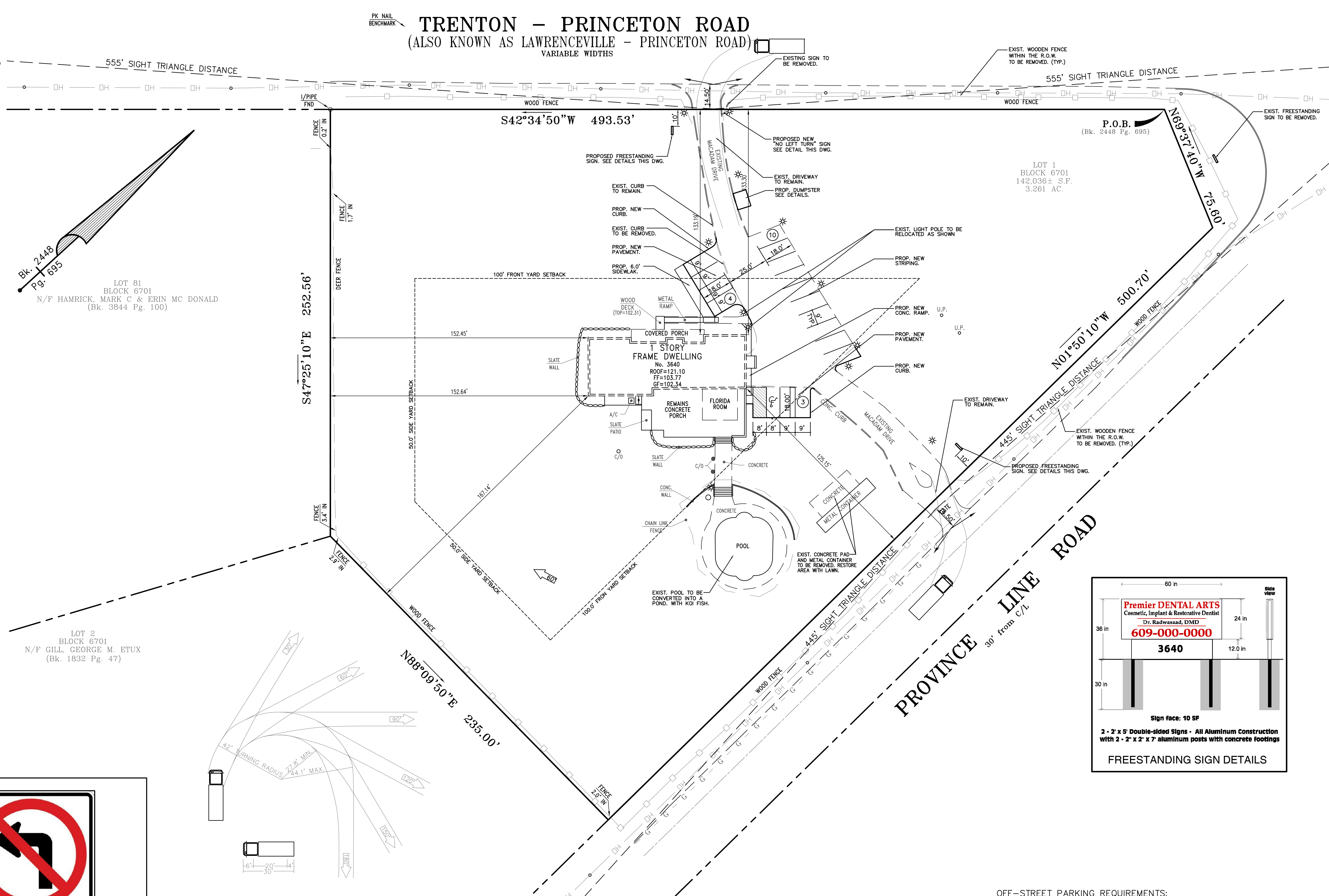


TYP. CONCRETE CURB DETAIL
N.T.S.



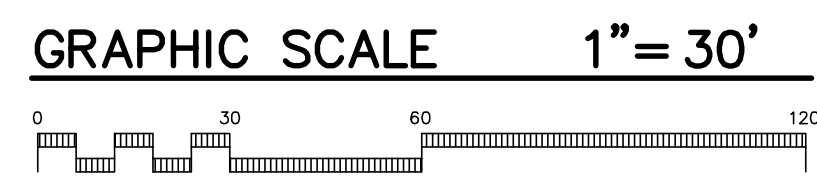
- NOTES:**
- AT DRIVEWAY CROSSINGS, SIDEWALK SHALL BE 6" THICK AND SHALL CONTAIN #410 WIRE MESH 2" UP FROM THE BOTTOM OF THE SIDEWALK.
 - THE TOWNSHIP ENGINEER SHALL APPROVE ALL SUBGRADES PRIOR TO THE POURING OF ANY CONCRETE.
 - EXPANSION JOINTS SHALL BE PROVIDED AT 20'(MAX) INTERVALS. JOINTS SHALL BE FILLED WITH 1/2" EXPANSION JOINT FILLER.
 - ALL SIDEWALK THAT IS BROKEN, CRACKED, OR OUT OF ALIGNMENT SHALL BE REPLACED PRIOR TO ACCEPTANCE.

CONCRETE SIDEWALK DETAIL
N.T.S.

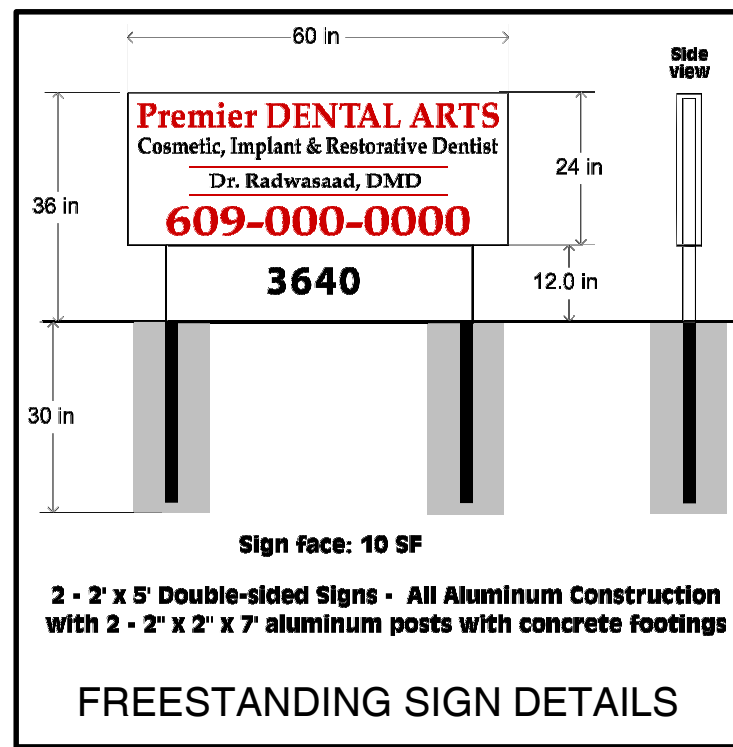


R3-2 No Left Turn Sign
 Reflective Sheeting on Aluminum Radius Corners
 3/8" Prepunched Holes
 High Intensity and Diamond Grade Signs Meet DOT and MUTCD State and Federal Guidelines

NO LEFT TURN SIGN DETAILS



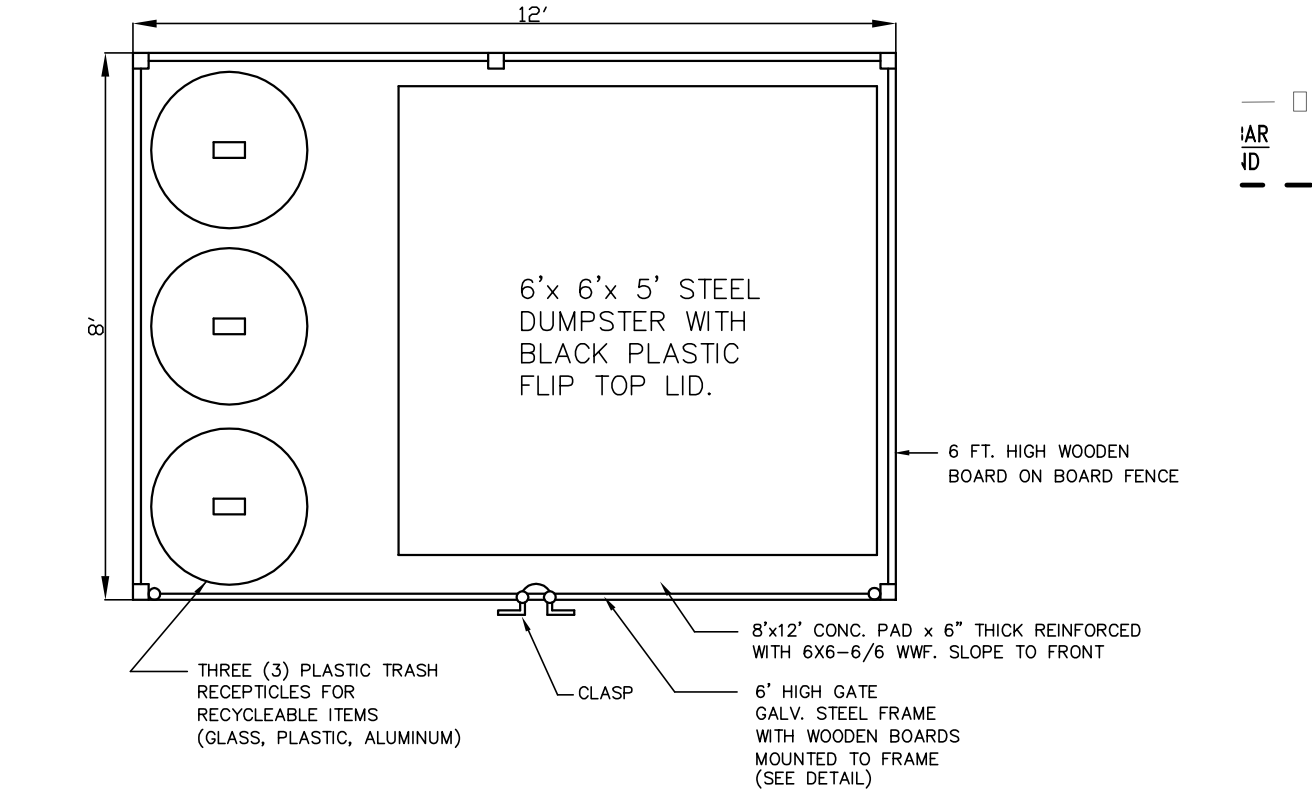
OFF-STREET PARKING REQUIREMENTS:
 5 STALLS PER 1,000 S.F. OF FLOOR AREA (MEDICAL OFFICE) (±3,000 S.F. / 1,000 S.F.) x 5 = 15 SPACES
 TOTAL PARKING REQUIRED = 15 SPACES
 TOTAL PARKING PROVIDED = 17 SPACES



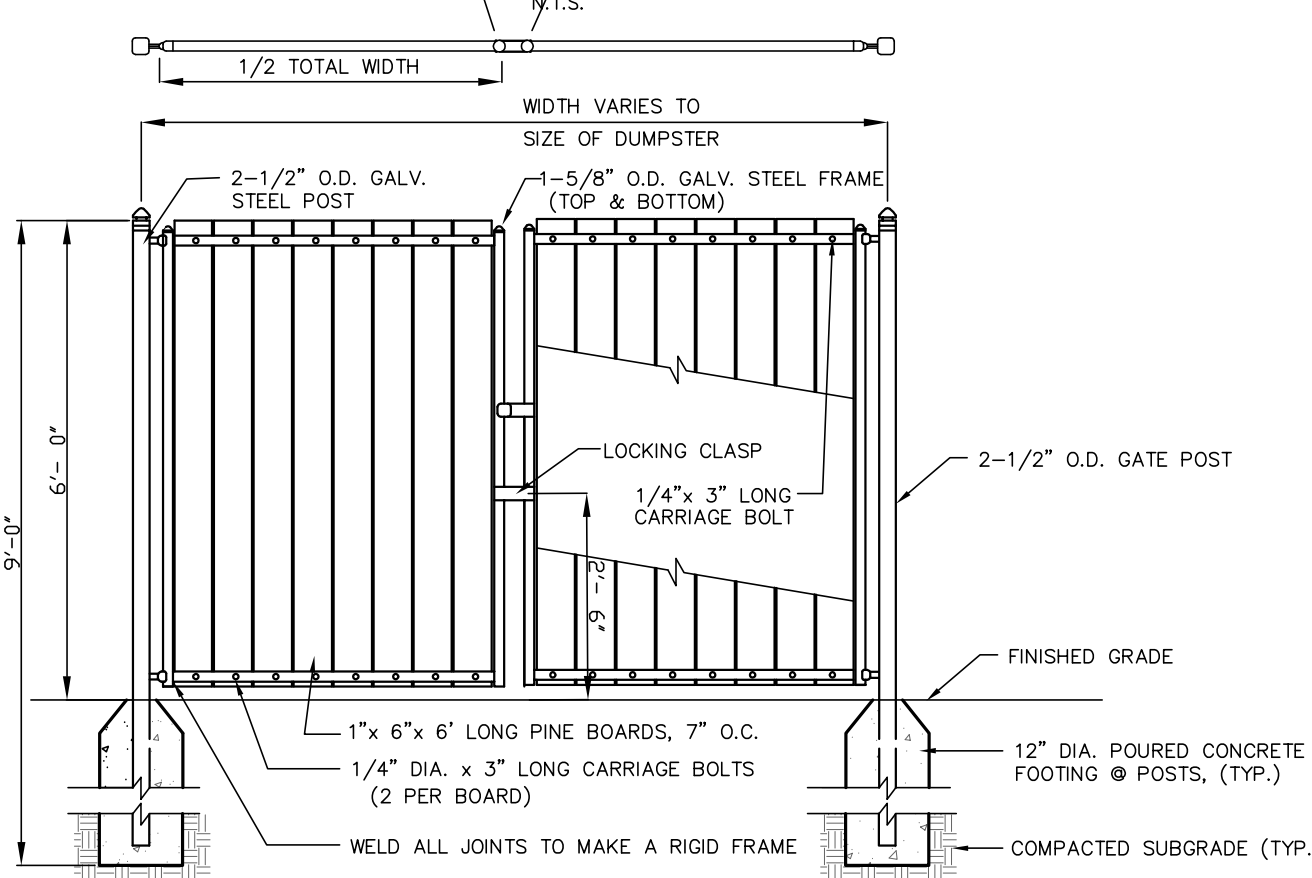
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CLIENT: SMILES REAL ESTATE, LLC. 3640 TRENTON - PRINCETON ROAD TOWNSHIP OF LAWRENCE MERCER COUNTY, NEW JERSEY	MEH CONSULTING ENGINEERS, INC. www.mehengineers.com CIVIL ENGINEERS - STRUCTURAL ENGINEERS ENVIRONMENTAL AND HYDRAULIC ENGINEERS 825 BLOOMFIELD AVENUE SUITE 106 VERONA, NEW JERSEY 07044 PHONE: (973) 239-2626 FAX: (973) 239-6356	DIMENSION PLAN	
		PROPOSED SITE IMPROVEMENT FOR SMILES REAL ESTATE, LLC. LOT 1, BLOCK 6701 TOWNSHIP OF LAWRENCE MERCER COUNTY, NEW JERSEY	
MOHAMMED EL-HAWWAT, P.E. NEW JERSEY PROFESSIONAL ENGINEER LICENSE NO. 38475	DATE: 07-19-2021	DATE: 03-29-2021 SCALE: 1"=30' W.D.: 21-011 CAD FILE: Y-3N4	DRAWN BY: BHS SHEET# CHECKED BY: MEH Y-3

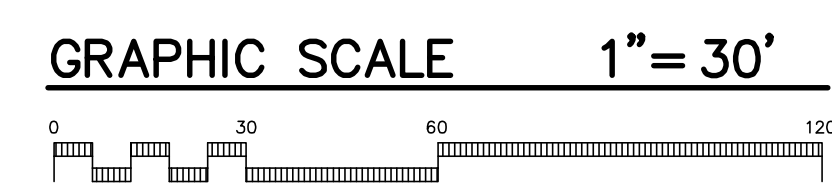
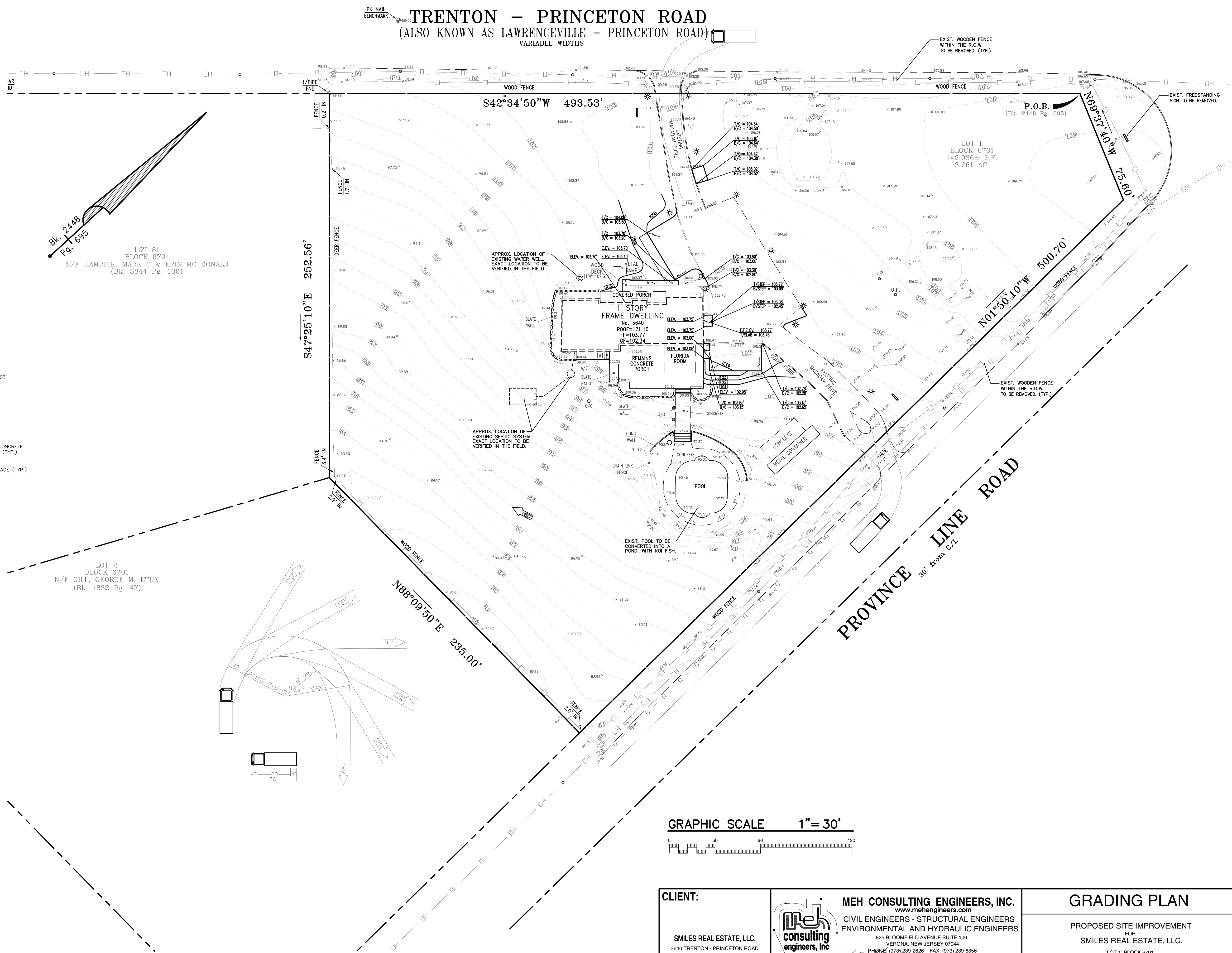
TRENTON - PRINCETON ROAD
(ALSO KNOWN AS LAWRENCEVILLE - PRINCETON ROAD)
VARIABLE WIDTHS



DUMPSTER AREA DETAIL
N.T.S.



REFUSE AREA GATE DETAIL
N.T.S.



- LEGEND**
- EXISTING INLET
 - PROPOSED INLET
 - EXISTING MANHOLE
 - PROPOSED MANHOLE
 - STORM SEWER LINE
 - - - EXISTING CONTOUR
 - - - PROPOSED CONTOUR
 - ⊙ PARKING COUNT
 - PROPOSED WATER LINE WITH HYDRANT
 - EXISTING HYDRANT
 - - - SILT FENCE
 - - - LIMIT OF DISTURBANCE
 - ⊙ TP #1 PROPOSED TEST PIT
 - - - 300.0' RIPARIAN BUFFER LIMIT
 - - - FHA LINE LIMIT
 - - - E,T,C PROPOSED ELECTRIC TELEPHONE & CABLE
 - RL RIDGE LINE

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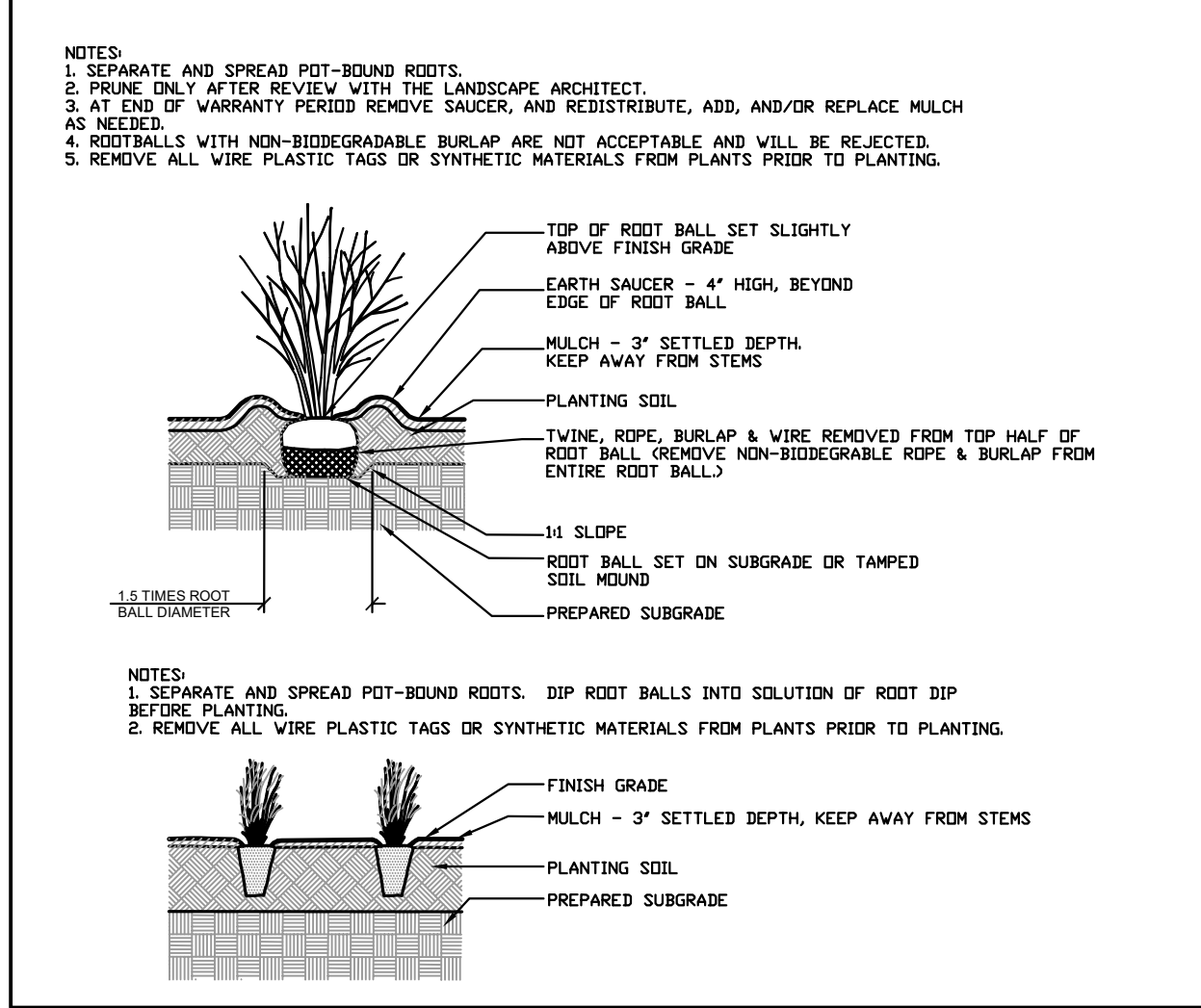
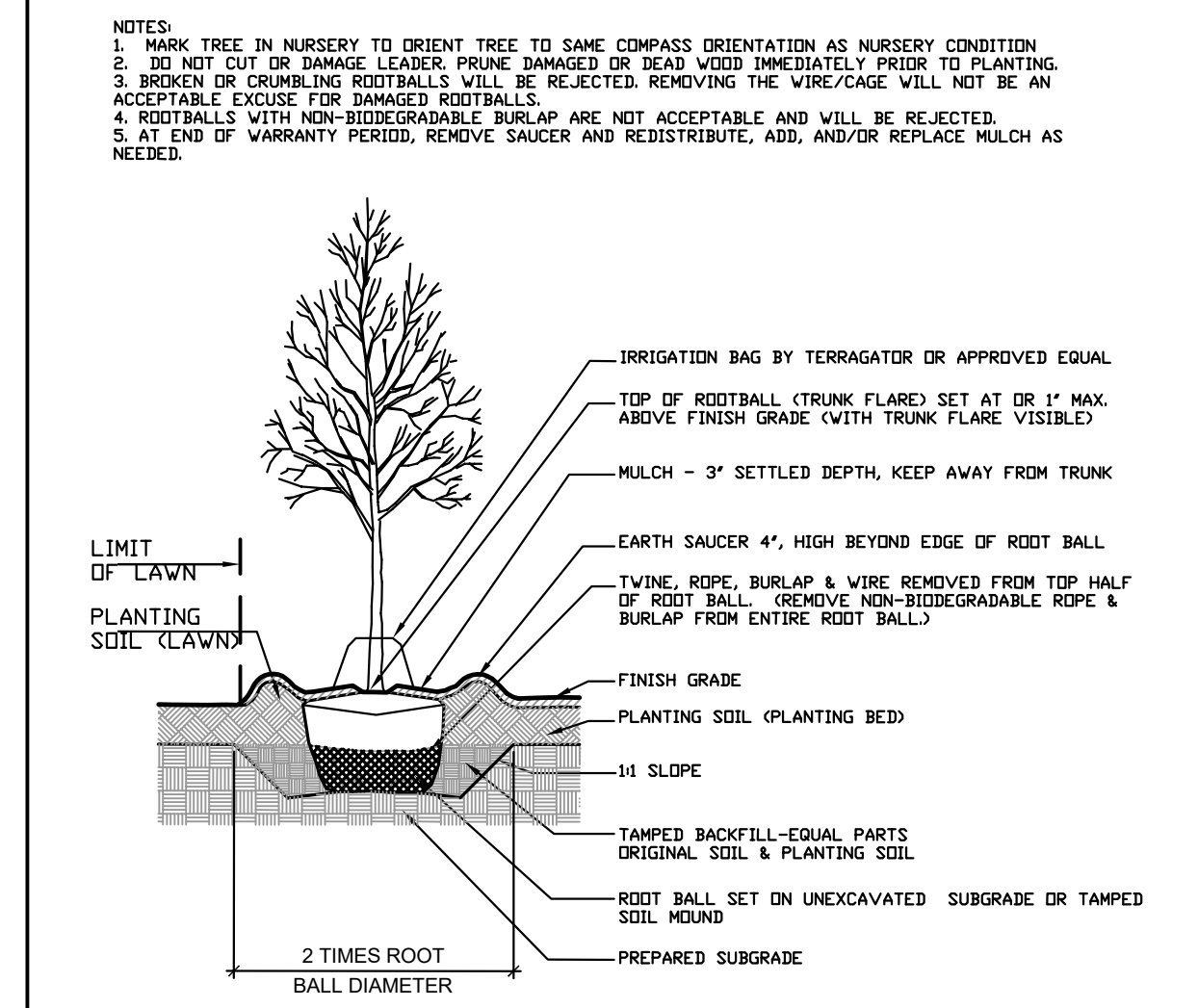
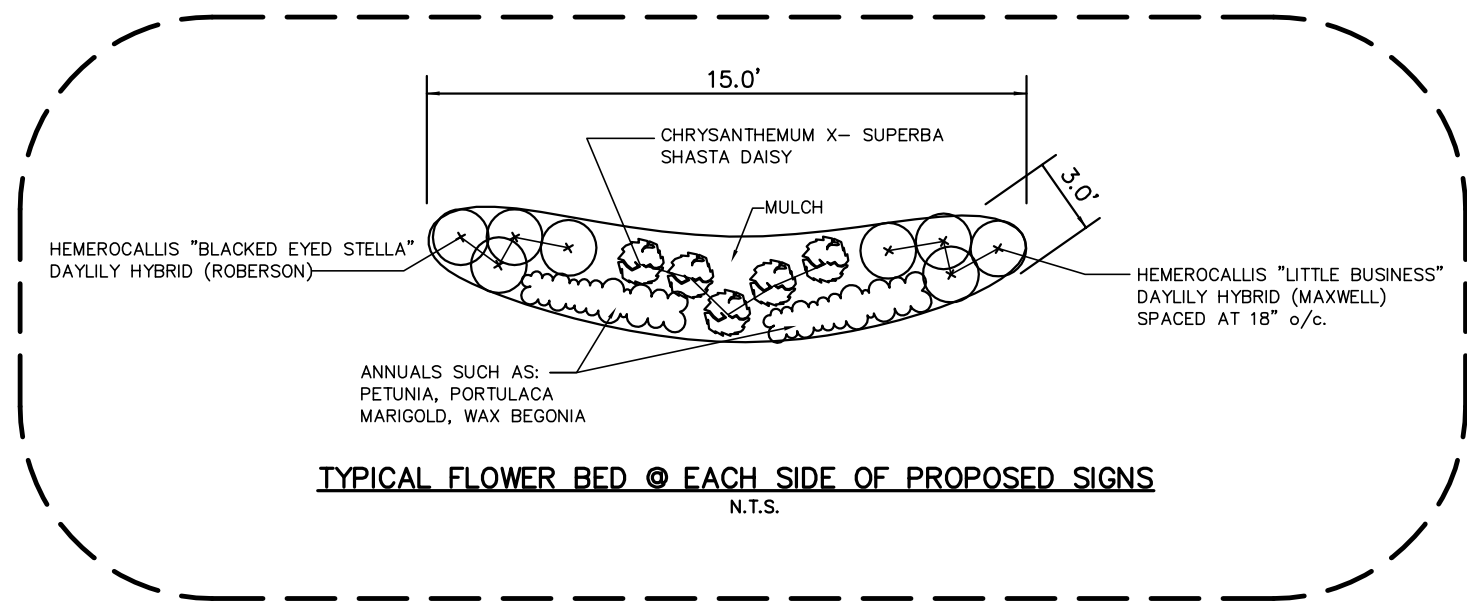
MEH CONSULTING ENGINEERS, INC.
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PHONE: (973) 239-2626 FAX: (973) 239-6356

MOHAMMED EL-HAWWAT, P.E.
NEW JERSEY PROFESSIONAL ENGINEER LICENSE NO. 38475

GRADING PLAN

PROPOSED SITE IMPROVEMENT
FOR
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LOT 1, BLOCK 6701
TOWNSHIP OF LAWRENCE
MERCER COUNTY, NEW JERSEY

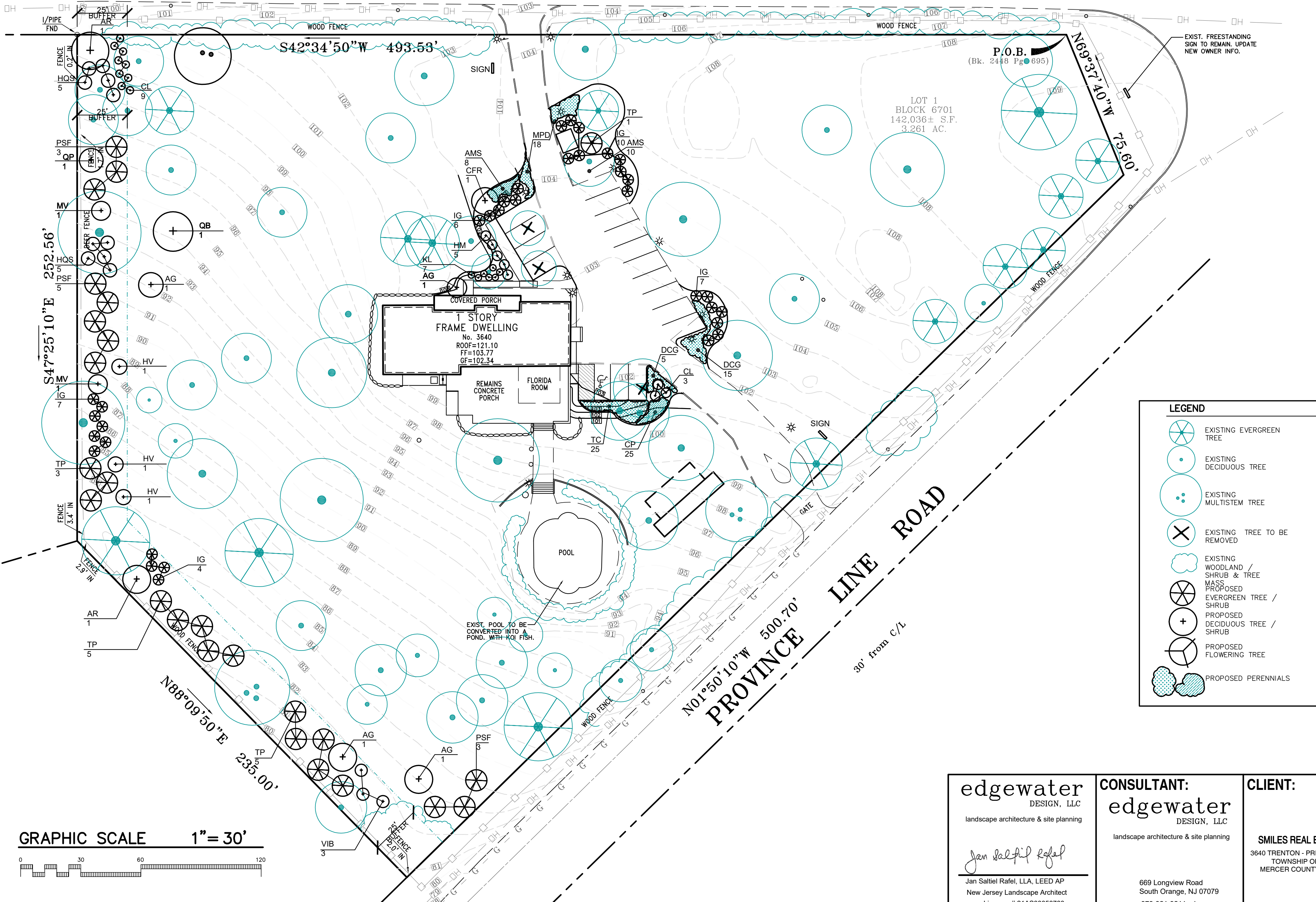
DATE: 03-29-2021 SCALE: 1"=30' DRAWN BY: BHS SHEET#
W.D.: 21-011 CAD FILE: Y-3N4 CHECKED BY: MEH **Y-4**



- PLANTING NOTES:
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND/OR OWNER'S REPRESENTATIVE.
 - LOCATIONS OF NEW PLANTS SHALL BE STAKED AND LAID OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH PLANTING INSTALLATION. PLANTING PLAN IS DIAGRAMMATIC; ADJUST PLANTS AS NECESSARY UNDER DIRECTION OF THE LANDSCAPE ARCHITECT.
 - THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF MECHANICAL EQUIPMENT AND UTILITIES EXISTING OR PROPOSED IN THE AREA TO BE PLANTED, AND WHERE NECESSARY RELOCATE PLANTS AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
 - ALL NEWLY PLANTED BEDS AND TREE SAUCERS SHALL RECEIVE 2 INCHES MINIMUM OF FRESH SHREDDED HARDWOOD MULCH, DARK IN COLOR, AS SPECIFIED. DO NOT PILE OR BUILD MULCH MOUNDS AROUND/AGAINST NEW OR EXISTING TREES.
 - PLANTING SOIL MIX FOR PLANTING SHALL BE FREE FROM DEBRIS, ROOTS OR ARTIFICIAL MATERIALS. ADD AT LEAST 6" OF FRESH TOPSOIL OR SCARIFY EXISTING TOPSOIL TO A DEPTH OF 6" ON ALL NEW PLANTING BEDS.
 - CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR FROM TIME OF LANDSCAPE ARCHITECT'S FINAL WRITTEN APPROVAL.
 - SOIL SHALL BE FREE FROM RUBBISH, DEBRIS, SOD, ROOTS, OR ARTIFICIAL MATERIAL. TOPSOIL FOR PLANTING SHALL BE AS SPECIFIED.
 - CONTRACTOR IS RESPONSIBLE FOR WATERING UNTIL INSTALLATION IS COMPLETE AND APPROVED.
 - PROVIDE NURSERY GROWN PLANTS FROM A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES. PROVIDE ONLY HEALTHY, VIGOROUS STOCK GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO CONDITIONS IN THE LOCALITY OF THE PROJECT, AND FREE OF DISEASE, INSECTS, EGGS, LARVAE AND DEFECTS SUCH AS KNOTS, SUNSCALE, INJURIES, ABRASIONS OR DISFIGUREMENT.
 - ALL PLANTS SHALL BE PACKED, TRANSPORTED, AND HANDLED WITH UTMOST CARE TO INSURE ADEQUATE PROTECTION AGAINST INJURY.
 - PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1, "AMERICAN STANDARD FOR NURSERY STOCK."
 - PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM INSECTS, PLANT DISEASES AND INJURIES. ALL PLANTS SHALL EQUAL OR EXCEED MEASUREMENTS SPECIFIED IN THE PLANT LIST WHICH ARE MINIMUM ACCEPTABLE. NO PLANTS SHALL BE PRUNED OR CLIPPED PRIOR TO DELIVERY EXCEPT WITH THE PERMISSION OF THE LANDSCAPE ARCHITECT.
 - ALL TREE AND SHRUB AREAS SHALL BE MULCHED IMMEDIATELY AFTER PLANTING AND FINISHED TOPSOIL GRADING. TREES AND SHRUBS SHALL BE MULCHED, AS SHOWN, SPREAD UNIFORMLY TO COVER ENTIRE AREA OF PLANTING PITS. ALL TREES AND SHRUBS SHALL BE GIVEN ONE APPLICATION OF ANTIDISECCANT, AS PER MANUFACTURER'S DIRECTION, COVERING ALL LEAVES, BRANCHES, AND TRUNKS.
 - MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL FINAL ACCEPTANCE OF THE PROJECT. PLANTS SHALL BE WATERED, MULCHED, WEEDED, PRUNED, SPRAYED AND GENERALLY MAINTAINED TO KEEP THEM IN A HEALTHY, VIGOROUS CONDITION.
 - GRASS SEED SHALL BE FRESH, NEW CROP SEED COMPLYING WITH SPECIES, VARIETY, PURITY, WEED TOLERANCES AND GERMINATION REQUIREMENTS HEREIN AND PROPERLY LABELED AND DELIVERED IN UNOPENED BAGS AS REQUIRED BY STATE AND FEDERAL SEED LAWS - SEE SPECIFICATIONS.
 - PROTECT ALL EXISTING VEGETATION TO REMAIN FROM DAMAGE DURING CONSTRUCTION.
 - PLANT SIZE "QT" OR "QUART" DENOTES A CONTAINER THAT IS 4" SQ. X 4.5" DEEP (OR IF NOT AVAILABLE, IT 3.5" SQ. X 3.5" MINIMUM).
 - PLANT SIZE "GAL" OR "GALLON" DENOTES A CONTAINER THAT IS 7" DIAM. X 8" DEEP (OR IF NOT AVAILABLE, IT 6" DIAM. X 7" DEEP MINIMUM).ps
 - ALL NEW AND RESTORED LAWN AREAS TO BE SOD TO MATCH EXISTING LAWN TYPE. CONTRACTOR TO COORDINATE WITH PROPERTY OWNER & IRRIGATION CONTRACTOR FOR REALIGNMENT AND ADDITION TO SPRINKLER SYSTEM.
 - ALL NEW PLANTS MUST HAVE IDENTIFICATION TAGS SHOWING BOTANICAL NAME & VARIETY.
 - CONTRACTOR TO ADJUST EXISTING IRRIGATION SYSTEM AS REQUIRED TO WATER NEW LAWN AND PLANTING AREAS.

1 TYPICAL SIGN PLANTING N.T.S.
2 B & B TREE PLANTING DETAIL N.T.S.
3 SHRUB & HERBACEOUS PLANTING DETAIL N.T.S.

TRENTON - PRINCETON ROAD (ALSO KNOWN AS LAWRENCEVILLE - PRINCETON ROAD)

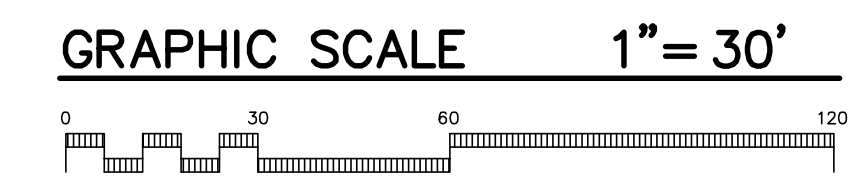


LEGEND

- EXISTING EVERGREEN TREE
- EXISTING DECIDUOUS TREE
- EXISTING MULTISTEM TREE
- EXISTING TREE TO BE REMOVED
- EXISTING WOODLAND / SHRUB & TREE
- MASS PROPOSED EVERGREEN TREE / SHRUB
- PROPOSED DECIDUOUS TREE / SHRUB
- PROPOSED FLOWERING TREE
- PROPOSED PERENNIALS

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/REMARKS
TREES				
AG	4	Amelanchier x grandiflora Autumn Brilliance	Apple serviceberry	All fully branched
AR	2	Acer Rubrum October Glory	Red maple	2'-3" cal / B&B
CFR	1	Cornus florida rubra	Flowering dogwood	7'-8' ht / B&B
MV	2	Magnolia Virginiana	Sweet bay magnolia	7' - 8' ht / B&B
QP	1	Quercus Bicolor Beacon	Beacon Swamp White Oak	2'-3" cal / B&B
QB	1	Quercus Bicolor	Swamp white oak	2'-3" cal / B&B
PSF	11	Pinus Strobus Fastigiata	Eastern white pine	7'-8' ht / B&B
TP	14	Thuja Plicata Green Giant	Arborvitae	7'-8' ht / B&B
TOTAL	36			
SHRUBS				
CL	12	Clethra alnifolia compacta	Summersweet	24"-30" ht/7 gal
HM	5	Hydrangea arborescens incrediball Blush	Smooth hydrangea	24"-30" ht/7 gal
HQS	10	Hydrangea quercifolia 'Snow Queen'	Oakleaf hydrangea	36"-42" ht
HV	3	Hamamelis vernalis Amethyst	Vernal Witch Hazel	5-6' ht
IG	35	Ilex glabra 'Chamzini' NORDIC	Nordic inkberry	30" ht/round
KL	7	Kalmia latifolia 'Minuet'	Mountain laurel	5 gal
VIB	3	Viburnum Trilobum 'Bailey Compact'	Viburnum - American Cranberrybush	36"-42" ht
TOTAL	75			
GROUNDCOVERS/PERENNIALS/GRASSES				
AMS	18	Amsonia tobemaemontana Sporm Cloud	Bluestar	1 GAL.
CP	25	Carex pennsylvanica	Pennsylvania sedge	1 GAL.
DCG	29	Deschampsia Goldtau	Tufted hair grass	1 GAL.
MPD	18	Monarda didyma Petite	Dwarf Petite Delight Bee Balm	1 GAL.
TC	25	Tiarella x pink Skyrocket	Pink Skyrocket Foamflower	1 GAL.
TOTAL	115			



2	REVISED AS PER TOWNSHIP COMPLETENESS LETTER DATED 04-30-2021.	07-19-2021
1	FOR FILING.	03-29-2021
No.	REVISION	DATE

<p>edgewater DESIGN, LLC landscape architecture & site planning</p> <p>Jan Sattler Rafel, LLA, LEED AP New Jersey Landscape Architect License # 21AS00050700</p>	<p>CONSULTANT: edgewater DESIGN, LLC landscape architecture & site planning</p> <p>669 Longview Road South Orange, NJ 07079 973-921-9211 phone</p>	<p>CLIENT: SMILES REAL ESTATE, LLC. 3640 TRENTON - PRINCETON ROAD TOWNSHIP OF LAWRENCE MERCER COUNTY, NEW JERSEY</p>	<p>MEH CONSULTING ENGINEERS, INC. www.mehengineers.com CIVIL ENGINEERS - STRUCTURAL ENGINEERS ENVIRONMENTAL AND HYDRAULIC ENGINEERS 825 BLOOMFIELD AVENUE SUITE 106 VERONA, NEW JERSEY 07044 PHONE: (973) 239-2626 FAX: (973) 239-6356</p> <p>MOHAMMED EL-HAWWAT, P.E. NEW JERSEY PROFESSIONAL ENGINEER LICENSE NO. 38475</p>	<p>LANDSCAPING PLAN</p> <p>PROPOSED SITE IMPROVEMENT FOR SMILES REAL ESTATE, LLC.</p> <p>LOT 1, BLOCK 6701 TOWNSHIP OF LAWRENCE MERCER COUNTY, NEW JERSEY</p> <p>07-19-2021</p>
				<p>DATE: 03-29-2021 SCALE: 1"=30' DRAWN BY: BHS SHEET#</p> <p>W.D.: 21-011 CAD FILE: Y-3N4 CHECKED BY: MEH</p> <p>Y-5</p>